

Development Standards

§ 903 HEIGHT REGULATIONS.

903.01 Height and Massing – Single-Family Residential Buildings and Structures. The height of all single-family residential buildings and structures as well as buildings or structures used by religious institutions, churches, schools and other non-residential uses in any residential zoning district is limited by a series of allowable dimensions as described below. Building heights shall be determined based on the building plans and contours as shown on the site plan submitted with the application for development review under § 403 or a building permit. The applicant shall be responsible for compliance with the height requirements of this section and verification of the field accuracy of contour data.

A. Overall building height.

1. The height of a single-family residential building or structure shall be established by the following imaginary planes:

a. An imaginary horizontal plane, exclusive of chimneys and antennae, the maximum height of which shall be no more than 22 feet measured vertically from the highest point at natural grade within the footprint of the building or structure. Alternate standards as provided in § 905 shall not be used to permit an increase in the height of this imaginary horizontal plane. (See Figure 9-1)

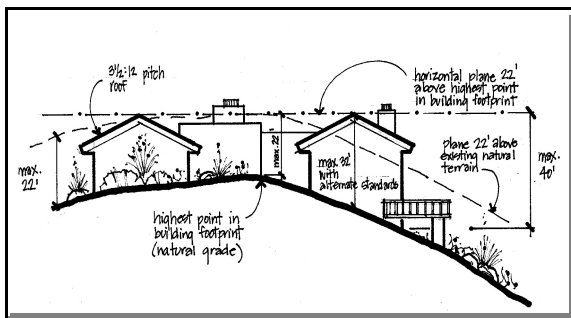


Figure 9-1

b. An imaginary plane that parallels the existing natural terrain, exclusive of chimneys, antennae, church steeples and flagpoles, the maximum height of which shall be no more than 22 feet measured vertically from any point on the face of the building or structure to natural grade, except as provided in § 903.01A.4. (See Figure 9-2)

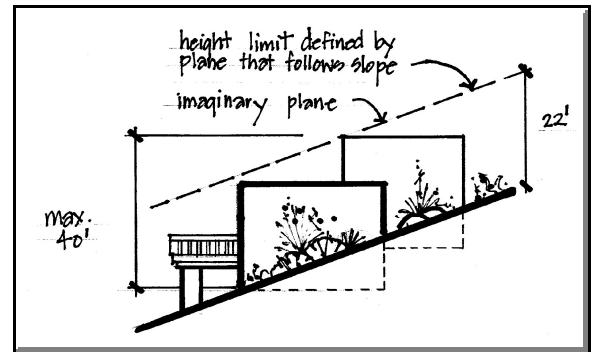


Figure 9-2

2. Small areas of rugged terrain inconsistent with this plane shall not increase or reduce building height. Small areas are those features such as drainage channels with a maximum width of 25 feet.

3. The maximum overall height of a building or structure shall not exceed 40 feet measured vertically from the highest parapet or roof ridge to natural grade or finish grade at the lowest point adjacent to the building exterior excluding posts and masonry piers supporting decks or patios, whichever yields the greatest height. For the purposes of calculating building height, the minimum distance between separate buildings shall be 10 feet. (See Figure 9-2)

4. Exceptions to the overall building heights described in § 903.01A.1. include;

a. Circumstances where alternate standards are applied to a building or structure as provided in § 905.

b. A gable or hip roof with a minimum pitch of 3.5:12 may extend above the 22-foot maximum building height established in § 903.01A.1.b. up to a maximum of 5 feet. A gable or hip roof with a minimum pitch of 3.5:12 may not extend above the 22-foot maximum building height established in § 903.01A.1.a., such as the imaginary plane established 22 feet above the highest point within the footprint of the building or structure. (See Figure 9-3)

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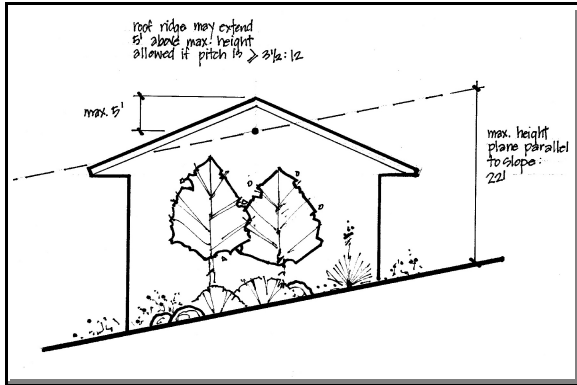


Figure 9-3

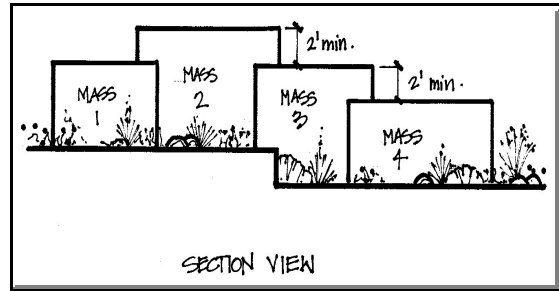


Figure 9-4

B. Required massing.

1. All single-family residential buildings and structures shall be composed of more than 1 visual building mass based on the following requirements:

a. All single-family residential buildings or structures 2,000 square feet or greater in gross floor area shall be composed of at least 3 visual building masses of differing heights or planes.

b. All single-family residential buildings or structures under 2,000 square feet but over 750 square feet in gross floor area (except for factory built buildings and manufactured homes) shall be composed of at least 2 visual building masses of differing heights or planes.

2. Such visual building masses shall vary in height vertically by a minimum of 2 feet from any adjacent mass or masses. (See Figure 9-4) To be classified as a visual building mass, the mass shall be 100 square feet minimum and have a minimum depth of 6 feet. Depth and width dimensions shall be measured perpendicular to each other. (See Figure 9-5)

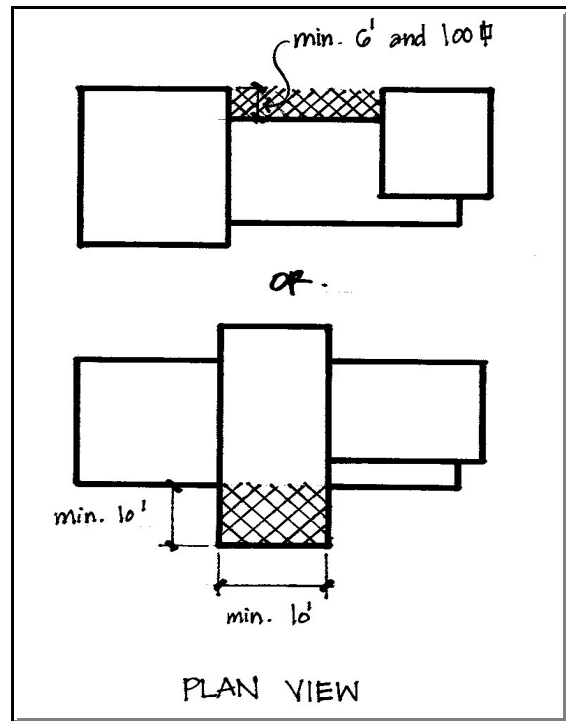


Figure 9-5

C. Exposed mass heights. An exterior wall of a building on any slope category shall not have an unbroken height of more than 22 feet measured from the finish grade at the horizontal midpoint at the base of the wall to the highest point of the wall. For the purposes of this section, the height of gable end walls shall be measured from the midpoint on the wall between the average top plate height and the roof ridge to finish grade at the horizontal midpoint of the base of the wall. (See Figure 9-6) Additional height to a maximum of 27 feet is allowed, provided that the overall building height is within the limitations of the other governing criteria in this section or § 905, and if one or more of the following apply:

Development Standards

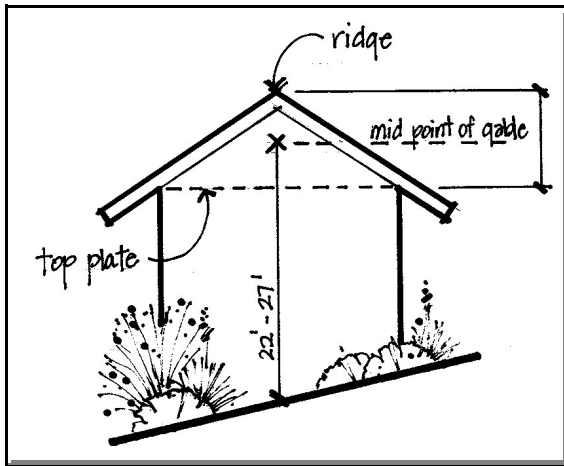


Figure 9-6

1. A minimum 2-foot horizontal offset is provided from the wall through the use of decks, balconies, overhangs or other architectural features (See Figure 9-7);

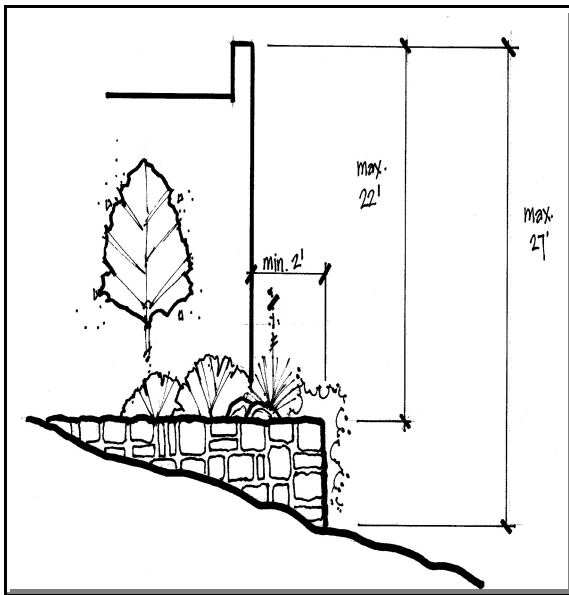


Figure 9-7

2. The wall that is greater than 22 feet in height has a maximum width or wall area no greater than that defined in Table 9A below, except as provided in paragraph § 903.01C.3. (See Figure 9-8)

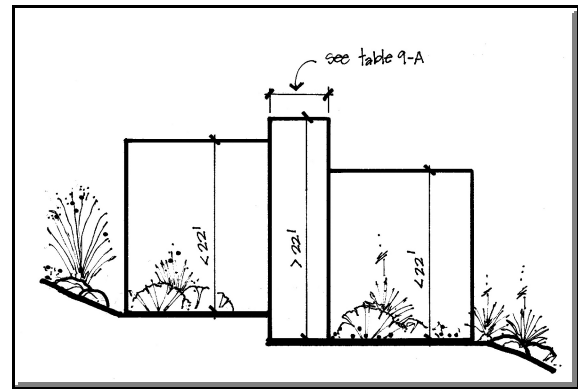


Figure 9-8

Table 9A
Exposed Mass Heights

Wall Height	Maximum Wall Width	Maximum Wall Area
22 ft.	–	–
22.5 ft.	17	383 sq. ft.
23 ft.	16	368 sq. ft.
23.5 ft.	15	353 sq. ft.
24 ft.	14	336 sq. ft.
24.5 ft.	13	319 sq. ft.
25 ft.	12	300 sq. ft.
25.5 ft.	11	281 sq. ft.
26 ft.	10	260 sq. ft.
26.5 ft.	9	239 sq. ft.
27 ft.	8	216 sq. ft.

3. As an option to paragraph 2. above, the base of the wall may be screened by native or adaptive vegetation or trees over 2" DBH with a minimum height of 3 feet and located close enough to the wall to reduce its apparent height so that additional wall width can be attained. Native or adaptive vegetation that is planted at the base of a wall to reduce its apparent height shall be a minimum of 5 gallon size and planted at an appropriate spacing not greater than 6 feet apart. (See Figure 9-9) An example of this section is provided below:

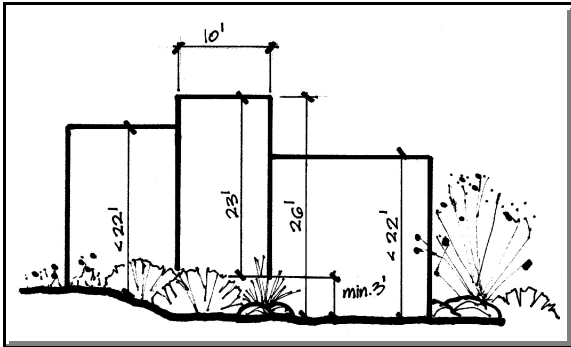


Figure 9-9

If a wall on a building or structure is 26 feet in height then based on Table 9A, it may not exceed 10 feet in width. However, if the base of the wall is screened by natural vegetation and/or trees that have an average height of minimum 3 feet, then it is possible to increase the maximum wall width to 16 feet (calculated for a wall 23 feet in height - 26-foot wall height minus 3-foot minimum vegetation height) (See Figure 9-9) ;

4. Notwithstanding the provisions of § 903.01C., the Director may approve wall heights and/or widths that exceed the limits established in § 903.02C.2. above based on the following findings:

a. A portion of the wall is not visible from adjoining properties or public and private rights-of-way;

b. The base of the wall is screened by existing trees and shrub masses;

c. The wall that exceeds the maximum height or width parameters is designed as an integral architectural element of the building or structure, is painted a darker color, or is constructed of natural materials such as native stone or natural wood that provides a change in materials, color and texture.

5. The Director may require the submission of any other materials and data, such as perspective drawings, computer simulations, photographs, cross sections or material samples to ensure that the purpose of this section is satisfied.

903.02 Height and Massing - Multi-Family Residential Buildings and Structures. The height and massing regulations of this section shall apply to all buildings and structures (other than single-family residential buildings and structures) located in the following zoning districts:

- RM-1 (Medium Density Multi-Family Residential)
- RM-2 (High Density Multi-Family Residential)
- RM-3 (High Density Multi-Family Residential)
- PRD (Planned Residential Development)

The height and massing of all multi-family residential buildings and structures is limited by a series of allowable dimensions as described below. Building heights shall be determined based on the building plans and contours as shown on the site plan submitted with the application for development review under § 401 or a building permit. The applicant shall be responsible for compliance with the height requirements of this section and verification of the field accuracy of contour data.

A. Overall Building Height.

1. The height of all multi-family residential buildings or structures shall be established by the following imaginary planes:

a. An imaginary horizontal plane, exclusive of chimneys and antennae, the maximum height of which shall be no more than 25 feet measured vertically from the highest point at natural grade within the footprint of the building or structure. (See Figure 9-10) Alternate standards as provided in § 905 shall not be used to permit an increase in the height of this imaginary horizontal plane.

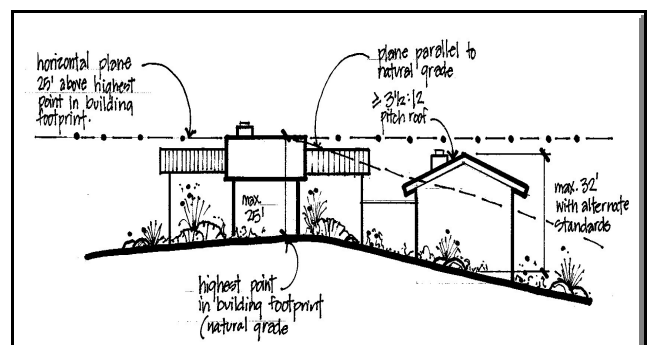


Figure 9-10

b. An imaginary plane that parallels the existing natural terrain, exclusive of chimneys, antennae,

Development Standards

church steeples and flagpoles, the maximum height of which shall be no more than 22 feet measured vertically from any point on the face of the building or structure to natural grade, except as provided in subsection A.4. (See Figure 9-11)

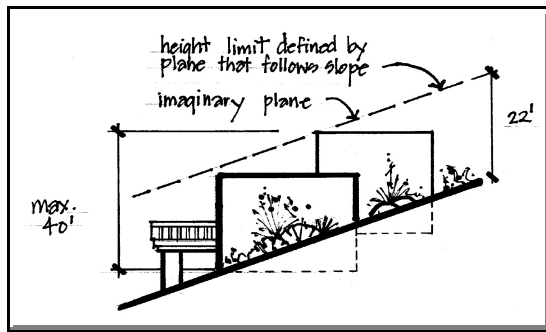


Figure 9-11

2. Small areas of rugged terrain inconsistent with this plane shall not increase or reduce building height. Small areas are those features such as drainage channels with a maximum width of 25 feet.

3. The maximum overall height of a building or structure shall not exceed 40 feet measured vertically from the highest parapet or roof ridge to natural grade or finish grade at the lowest point adjacent to the building exterior excluding posts and masonry piers supporting decks or patios, whichever yields the greatest height. For the purposes of calculating building height, the minimum distance between separate buildings shall be 10 feet. (See Figure 9-11)

4. Exceptions to the overall building heights described in subsection A.1. include:

a. Circumstances where alternate standards are applied to a building or structure as provided in § 905.

b. The height of that portion of multi-family residential buildings or structures whose finish floor is located higher than the adjoining road surface to be constructed within 10 feet of the applicable front or street side setback line shall not exceed 15 feet measured vertically from the highest parapet or roof ridge to natural grade at any point along the road. (See Figure 9-12)

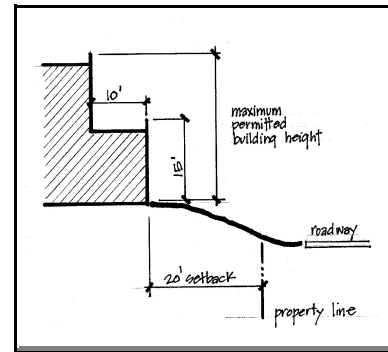


Figure 9-12

c. A gable or hip roof with a minimum pitch of 3.5:12 may extend above the 22-foot maximum building height established in subsection A.1.b. up to a maximum of 5 feet. (See Figure 9-13)

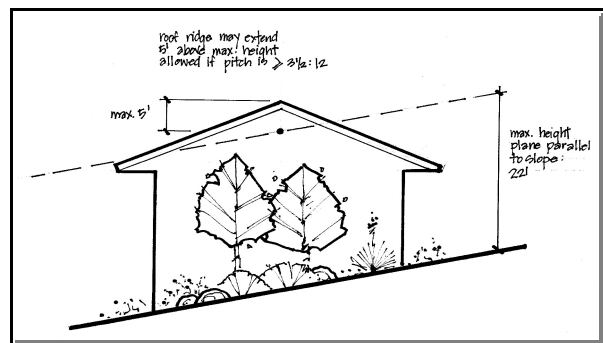


Figure 9-13

d. Elevator penthouses, mechanical equipment penthouses, towers, stair towers and similar non-habitable structures as well as covered roof decks may exceed the permitted height established in subsection A. by up to 8 feet. All such structures shall not cover more than 5% of the roof area of the building. Mechanical equipment penthouses and covered roof decks shall be set back a minimum of 6 feet from the edge of the roof. Elevator penthouses, non-habitable towers and stair towers that create a separate mass to the ground and that are integrated into the design of the building or structure are exempt from the 6-foot edge of roof requirement. Structures described in this subsection A.4.d. shall not be considered as separate masses for the purpose of satisfying the requirements of subsection B. (See Figure 9-14)

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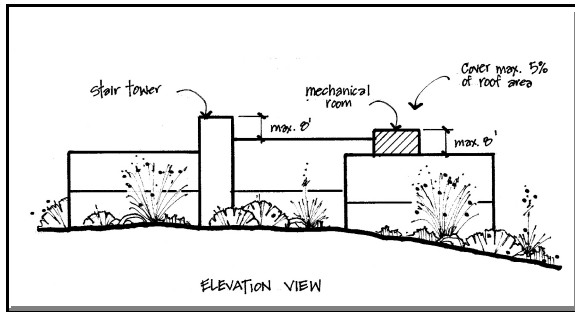


Figure 9-14

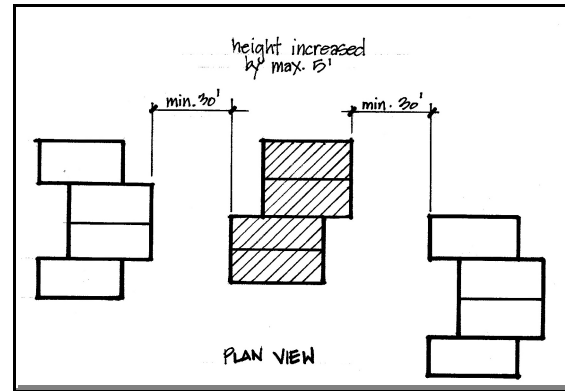


Figure 9-15

e. Where 3 or more buildings are located on a parcel or building site, the maximum permitted height established in subsection A. may be increased by the Director and/or Commission to allow greater building height diversity and to prevent buildings located on relatively flat parcels from appearing to have the same heights subject to the following requirements:

i. The number of buildings within a multi-building project that may increase their height based on the provisions of subsection A.4.e. shall be determined based on Table 9-B as follows: (See Figure 9-15)

Table 9-B: Building Heights for Multi-Building Multi-Family Projects

Total Number of Buildings	Number of Buildings with Increased Height
3	1
4-6	2
7-9	3
10-12	4
Over 12	Determined at a 1:3 ratio

ii. The increase in height for any building shall not exceed 5 feet.

iii. Where an increase in building height is permitted, the provisions of subsection A.4.d. shall not apply to that portion of the building or structure that exceeds the otherwise maximum permitted height.

iv. Where an increase in building height is permitted, the taller building shall be separated by a minimum of 30 feet from all adjoining buildings on the parcel or building site.

v. If alternate standards are applied to any building in a multi-building project, then in order to ensure height diversity and preclude buildings from appearing to have the same overall height, the Director and Commission may only permit the application of alternate standards provided that the intent of this subsection A.4.e. and the criteria established in paragraph vii. below is met.

vi. In order to break up the roof line of a building or structure not in a multi-building or multi-family project, no more than 25% of the roof area may be increased in height by a maximum of 5 feet provided that the building or structure maintains a minimum of 30 feet separation to all adjoining buildings or structures and adjacent single-family residential properties.

vii. The applicant shall demonstrate to the satisfaction of the Director and Commission that the increase in height will not create negative visual impacts or block view corridors and is desirable because it for example, provides additional massing opportunities, enhances the aesthetic appearance of the project, is in accord with the design principles of the Design Review Manual and is in keeping with the city's

Development Standards

unique natural environment. As a general rule, taller buildings shall be situated within the central portions of a parcel or building site with lower buildings situated on the periphery.

B. Required massing. All multi-family residential buildings or structures 2,500 square feet or greater in gross floor area shall be composed of at least 3 visual building masses of differing heights or planes. Such visual building masses shall vary in height vertically by a minimum of 2 feet from any adjacent mass or masses. (See Figure 9-16) To be classified as a visual building mass, the mass shall be 100 square feet minimum and have a minimum depth of 6 feet. Depth and width dimensions shall be measured perpendicular to each other. (See Figure 9-17) The structures permitted in subsection A.4.d. shall not be considered as a separate visual building mass for the purpose of meeting the requirements of this subsection B.

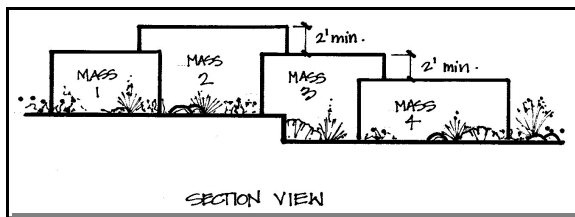


Figure 9-16

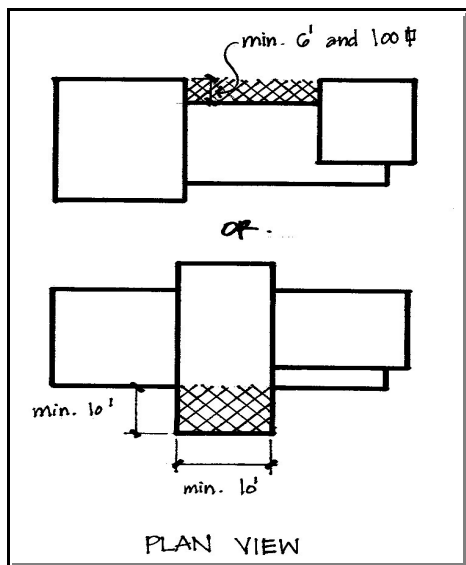


Figure 9-17

C. Building length.

1. If a multi-family building or structure is proposed in excess of 22 feet in height by for example, application of subsection A.4.d. or A.4.e. and alternate standards as defined in § 905, the maximum length of the building or structure shall be no more than 150 feet measured from one end of the building along its longest elevation to the opposite end inclusive of elevator shafts, interior and exterior stairs, balconies and covered patios and covered walkways.

2. Any multi-family residential building or structure that exceeds 150 feet in length regardless of its height, shall be limited in height such that 25% or more of the building footprint shall be limited to no more than 16 feet in height. The portion of the building subject to this regulation shall be unbroken and not separated into smaller areas, and shall be visible from both sides of the elevation longer than 150 feet in length. (See Figure 9-18)

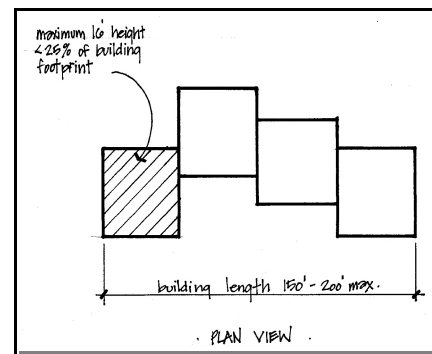


Figure 9-18

3. The maximum length of any multi-family building or structure regardless of its height shall be 200 feet measured from one end of the building along its longest elevation to the opposite end inclusive of elevator shafts, interior and exterior stairs, balconies and covered patios and covered walkways.

D. Exposed mass heights. An exterior wall of a building shall not have an unbroken height of more than 22 feet measured from finish grade at the horizontal midpoint of the base of the wall to the highest point of the wall. For the purposes of this section, the height of gable end walls shall be measured from the midpoint on the wall between the average top plate height and the roof ridge to finish grade at the horizontal midpoint of the base of the wall. (See Figure 9-19) Additional height to a maximum of 27 feet is allowed

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provided that the overall building height is within the limitations of the other governing criteria in this section or § 905, and if one or more of the following apply:

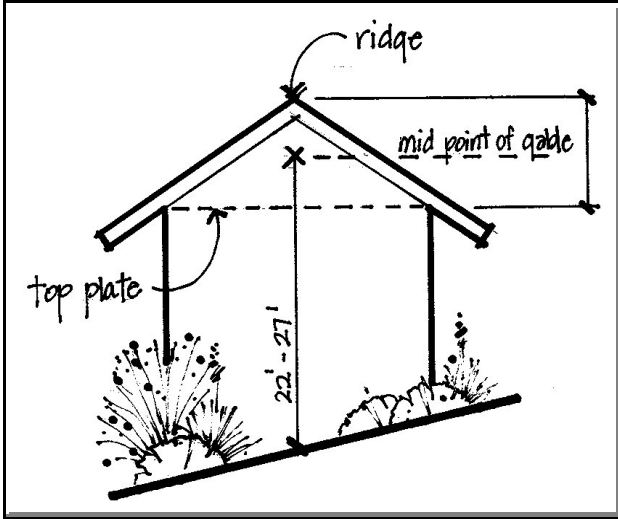


Figure 9-19

1. A minimum 2-foot horizontal offset is provided from the wall through the use of decks, balconies, overhangs or other architectural features. (See Figure 9-20)

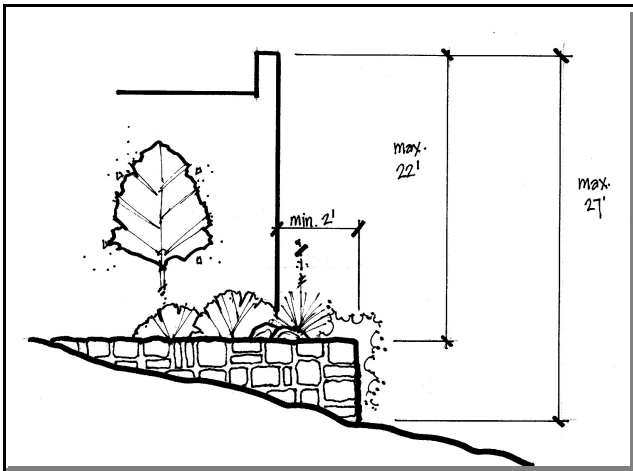


Figure 9-20

2. The wall that is greater than 22 feet in height has a maximum width or wall area no greater than that defined in Table 9-C, except as provided in paragraph D.3. (See Figure 9-21)

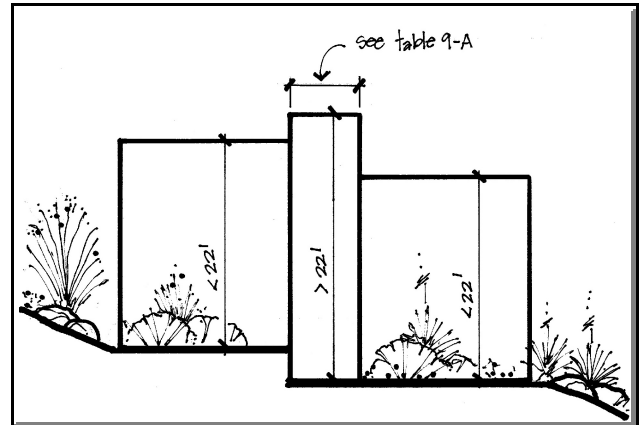


Figure 9-21

Table 9-C - Exposed Mass Heights

Wall Height	Maximum Wall Width	Maximum Wall Area
22	-	-
22.5	17	383
23	16	368
23.5	15	353
24	14	336
24.5	13	319
25	12	300
25.5	11	281
26	10	260
26.5	9	239
27	8	216

3. As an option to paragraph 2. above, the base of the wall may be screened by native or adaptive vegetation or trees over 2" DBH with a minimum height of 3 feet and located close enough to the wall to reduce its apparent height so that additional wall width can be attained.

Development Standards

Native or adaptive vegetation that is planted at the base of a wall to reduce its apparent height shall be a minimum of 5-gallon size and planted at an appropriate spacing not greater than 6 feet apart. An example of this section is provided below:

If a wall on a building or structure is 26 feet in height then based on Table 9-C, it may not exceed 10 feet in width. However, if the base of the wall is screened by natural vegetation and/or trees that have an average height of minimum 3 feet, then it is possible to increase the maximum wall width to 16 feet (calculated for a wall 23 feet in height - 26-foot wall height minus 3-foot minimum vegetation height). (See Figure 9-22)

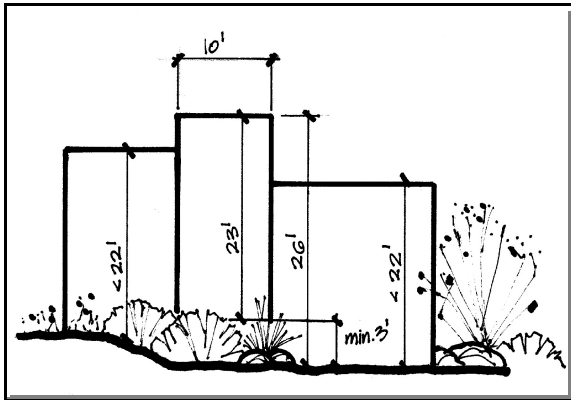


Figure 9-22

a. Notwithstanding the provisions of this subsection D., the Director and/or Commission may approve wall heights and/or widths that exceed the limits established in subsection D.2. above based on the following findings:

i. A portion of the wall is not visible from adjoining properties or public and private rights-of-way.

ii. The base of the wall is screened by existing trees and shrub masses.

iii. The wall that exceeds the maximum height or width parameters is designed as an integral architectural element of the building or structure, is painted a darker color, or is constructed of natural materials such as native stone or natural wood that provides a change in materials, color and texture.

b. The Director may require the submission of any other materials and data, such as perspective drawings, computer simulations, photographs, cross sections or material samples to ensure that the purpose of this section is satisfied.

4. Elevator penthouses, towers, stair towers and similar non-habitable structures shall be exempt from the exposed mass heights regulations provided in subsection D.

903.03 Height and Massing - Commercial, Public and Semi-Public Buildings and Structures. The height and massing regulations of this section shall apply to all buildings and structures (other than single-family residential buildings and structures) located in the following zoning districts:

- C-1 General Commercial
- C-2 General Commercial
- C-3 General Commercial
- OP Office Professional
- RC Resort Commercial
- L Lodging
- CF Community Facilities
- P Parking
- PD Planned Development

The height and massing of all commercial, public and semi-public buildings and structures is limited by a series of allowable dimensions as described below. Building heights shall be determined based on the building plans and contours as shown on the site plan submitted with the application for Development Review under § 401 or a building permit. The applicant shall be responsible for compliance with the height requirements of this § 903.01 and verification of the field accuracy of contour data.

A. Overall Building Height.

1. The height of buildings or structures in the zoning districts defined in this section shall be established by an imaginary plane that parallels the existing natural terrain, exclusive of chimneys, antennae, church steeples and flagpoles, the maximum height of which shall be no more than 22 feet measured vertically from any point on the face of the building or structure to natural grade, except as provided in subsection A.4. (See Figure 9-23)

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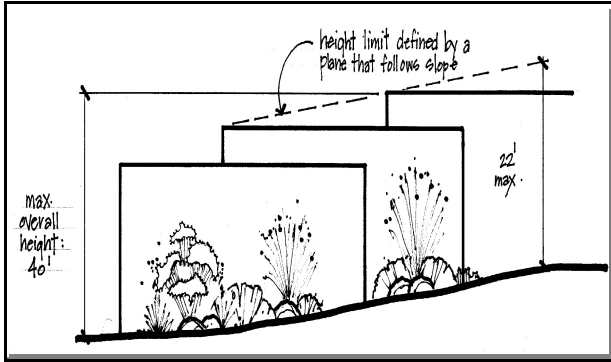


Figure 9-23

2. Small areas of rugged terrain inconsistent with this plane shall not increase or reduce building height. Small areas are those features such as drainage channels with a maximum width of 25 feet.

3. The maximum overall height of a building or structure shall not exceed 40 feet measured vertically from the highest parapet or roof ridge to natural grade or finish grade at the lowest point adjacent to the building exterior excluding posts and masonry piers supporting decks or patios, whichever yields the greatest height. For the purposes of calculating building height, the minimum distance between separate buildings shall be 10 feet.

4. Exceptions to the overall building heights described in subsection A.1. include:

a. Circumstances where alternate standards are applied to a building or structure as provided in § 905.

b. The height of that portion of commercial and public/semi-public buildings or structures whose finish floor is located higher than the adjoining road surface to be constructed within 10 feet of the applicable front or street side setback line shall not exceed 15 feet measured vertically from the highest parapet or roof ridge to natural grade at any point along the road. (See Figure 9-24)

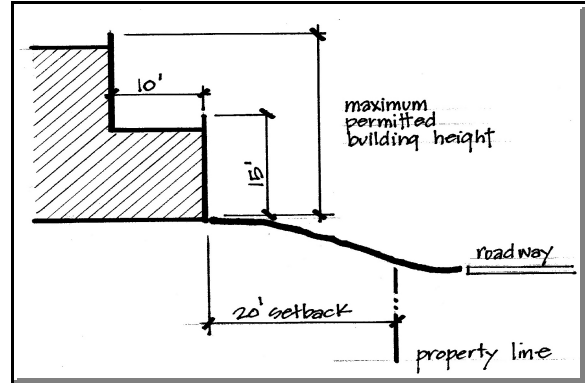


Figure 9-24

c. A gable or hip roof with a minimum pitch of 3.5:12 may extend above the 22-foot maximum building height established in subsection A.1.b. up to a maximum of 5 feet. (See Figure 9-25)

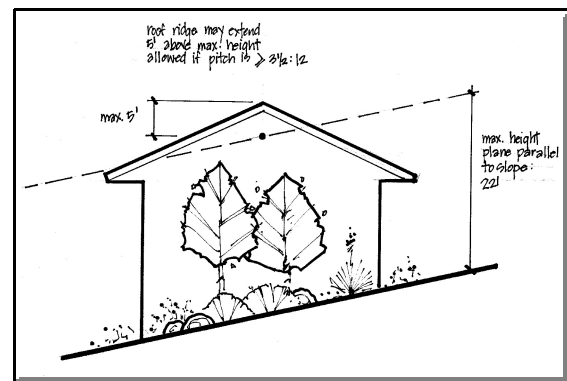


Figure 9-25

d. Elevator penthouses, mechanical equipment penthouses, towers, stair towers and similar non-habitable structures as well as covered roof decks may exceed the permitted height established in subsection A. by up to 8 feet. All such structures shall not cover more than 5% of the roof area of the building. Mechanical equipment penthouses and covered roof decks shall be set back a minimum of 6 feet from the edge of the roof. Elevator penthouses, non-habitable towers and stair towers that create a separate mass to the ground and that are integrated into the design of the building or structure are exempt from the 6-foot edge of roof requirement. Structures described in this subsection A.4.d. shall not be considered as separate masses for the purpose of satisfying the requirements of subsection B. (See Figure 9-26)

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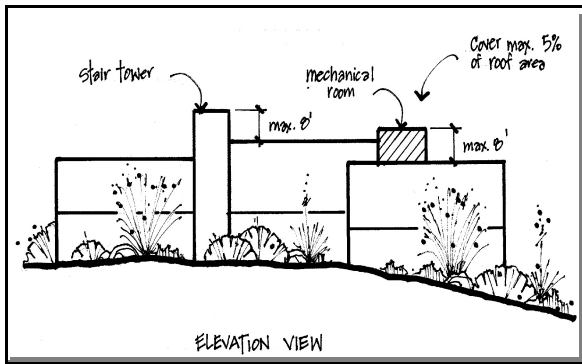


Figure 9-26

e. Where 3 or more buildings are located on a parcel or building site, the maximum permitted height established in subsection A. may be increased by the Director and/or Commission to allow greater building height diversity and to prevent buildings located on relatively flat parcels from appearing to have the same heights subject to the following requirements:

i. The number of buildings within a multi-building project that may increase their height based on the provisions of subsection A.4.e. shall be determined based on Table 9-D as follows: (See Figure 9-27)

Table 9-D Building Heights for Multi-Building Commercial Projects

Total Number of Buildings	Number of Buildings with Increased Height
3	1
4-6	2
7-9	3
10-12	4
Over 12	Determined at a 1:3 ratio

ii. The increase in height for any building shall not exceed 5 feet.

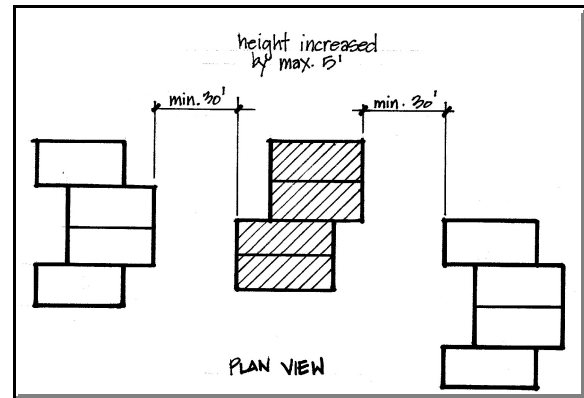


Figure 9-27

iii. Where an increase in building height is permitted, the provisions of subsection A.4.d. shall not apply to that portion of the building or structure that exceeds the otherwise maximum permitted height.

iv. Where an increase in building height is permitted, the taller building shall be separated by a minimum of 30 feet from all adjoining buildings on the parcel or building site.

v. If alternate standards are applied to any building in a multi-building project, then in order to ensure height diversity and preclude buildings from appearing to have the same overall height, the Director and Commission may only permit the application of alternate standards provided that the intent of this subsection A.4.e. and the criteria established in paragraph vii. below is met.

vi. In order to break up the roof line of a building or structure not in a multi-building commercial project, no more than 25% of the roof area may be increased in height by a maximum of 5 feet provided that the building or structure maintains a minimum of 30 feet separation to all adjoining buildings or structures and adjacent single-family residential properties.

vii. The applicant shall demonstrate to the satisfaction of the Director and Commission that the increase in height will not create negative visual impacts or block view corridors and is desirable because it for example, provides additional massing opportunities, enhances the aesthetic appearance of the project, is in accord with the design principles of the

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Design Review Manual and is in keeping with the city's unique natural environment. As a general rule, taller buildings shall be situated within the central portions of a parcel or building site with lower buildings situated on the periphery.

B. Required Massing. All commercial and public/semi-public buildings or structures 2,500 square feet or greater in gross floor area shall be composed of at least 3 visual building masses of differing heights or planes. (See Figure 9-28) Such visual building masses shall vary in height vertically by a minimum of 2 feet from any adjacent mass or masses. To be classified as a visual building mass, the mass shall be 100 square feet minimum and have a minimum depth of 6 feet. Depth and width dimensions shall be measured perpendicular to each other. (See Figure 9-29) The structures permitted in subsection A.4.d. shall not be considered as a separate visual building mass for the purpose of meeting the requirements of this subsection.

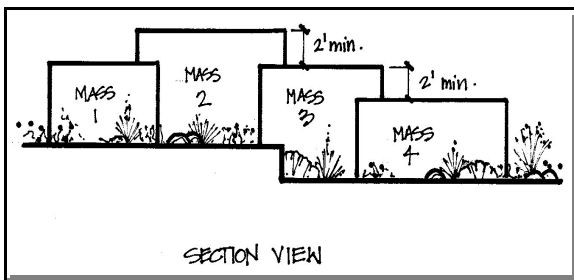


Figure 9-28

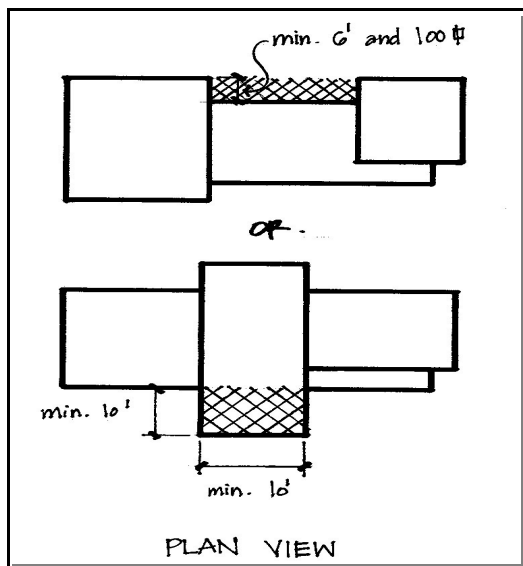


Figure 9-29

C. Unrelieved Building Plane.

1. No exterior wall of a building or structure shall have an unrelieved building plane that exceeds 800 square feet in area.

2. If the wall is located on an interior side or rear property line adjacent to an existing building, an unrelieved building plane that exceeds 800 square feet may be approved by the Director or Commission.

3. A break or separation between unrelieved building planes is defined as an interruption of the building wall plane with either a recess or an offset measuring at least 6 feet in depth and at least one quarter of the wall's total length. The offset angle determining the "break" shall be between 90 degrees and 45 degrees to the wall.

D. Exposed Mass Heights. An exterior wall of a building shall not have an unbroken height of more than 24 feet measured from the finish grade at the horizontal midpoint of the wall to the highest point of the wall. For the purposes of this section the height of gable end walls shall be measured from the midpoint on the wall between the average top plate height and the roof ridge to finish grade at the midpoint of the base of the wall. (See Figure 9-30) Additional height to a maximum of 27 feet is allowed provided that the overall building height is within the limitations of the other governing criteria in this section or § 905, and if one or more of the following apply:

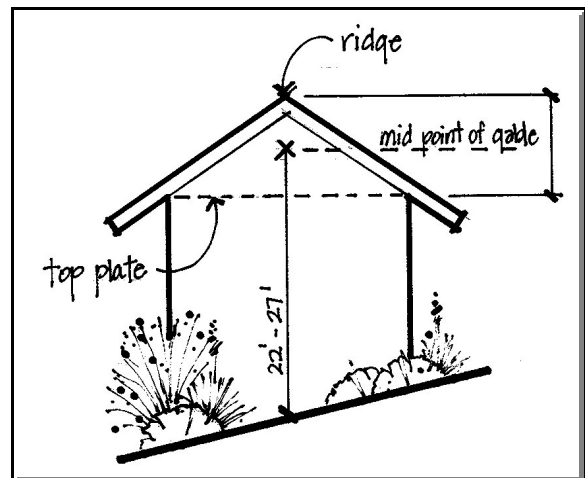


Figure 9-30

1. A minimum 2-foot horizontal offset is provided from the wall through the use of decks, balconies, overhangs or other architectural features. (See Figure 9-31)

Development Standards

903.05 Retaining walls.

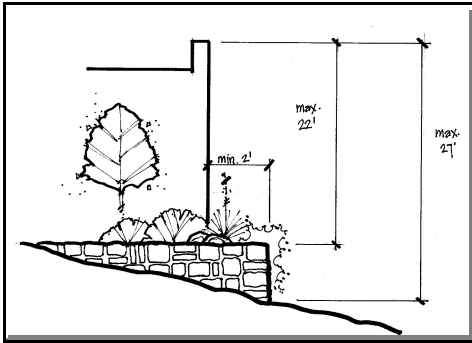


Figure 9-31

2. The base of the wall may be screened by native or adaptive vegetation or trees over 2" DBH with a minimum height of 3 feet and located close enough to the wall to reduce its apparent height. Native or adaptive vegetation that is planted at the base of a wall to reduce its apparent height shall be a minimum of 15-gallon size for trees and 5-gallon size for shrubs and planted at an appropriate spacing not greater than 6 feet apart.

3. Notwithstanding the provisions of this subsection D., the Director and/or Commission may approve wall heights that exceed the limits established in subsection D. above based on the following findings:

- a. A portion of the wall is not visible from adjoining properties or public and private rights-of-way.
- b. The base of the wall is screened by existing trees and shrub masses.
- c. The wall that exceeds the maximum height or width parameters is designed as an integral architectural element of the building or structure, is painted a darker color, or is constructed of natural materials such as native stone or natural wood that provides a change in materials, color and texture.

The Director may require the submission of any other materials and data, such as perspective drawings, computer simulations, photographs, cross sections or material samples to ensure that the purpose of this section is satisfied.

903.04 Chimney mass. The height of a chimney mass shall not exceed 5 feet above the highest point of the structure within 10 feet of that chimney mass. No chimney pipe or other device shall exceed the maximum overall mass height of a chimney by more than 12 inches.

A. The height of retaining walls supporting either cut or fill conditions shall not exceed 8 feet measured vertically from the lowest point at natural grade to the highest point of the wall. Overall heights may exceed 8 feet where justified by topographic conditions. In these cases a maximum overall height of 14 feet may be allowed by use of more than 1 retaining wall, providing there is a minimum planting area of 5 feet between the walls. A minimum of 5-gallon shrubs for each 20 linear feet of planting area shall be planted. (See Figure 9-32)

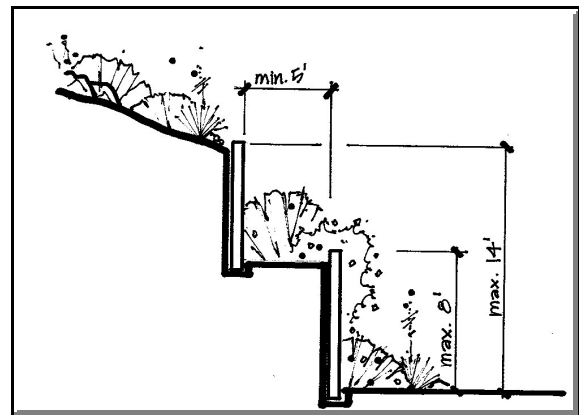


Figure 9-32

B. Retaining walls shall also jog in plan every 40 feet minimum in length, by a minimum of 2 feet offset. A direction change of more than 30 degrees in plan also constitutes a jog.

903.06 Posts and masonry piers. Posts and masonry piers supporting terraces and decks integrated in to the overall design shall be limited to 14 feet measured from natural grade to top of railing. (See Figure 9-33) Additional height is allowed if 1 or more of the following apply:

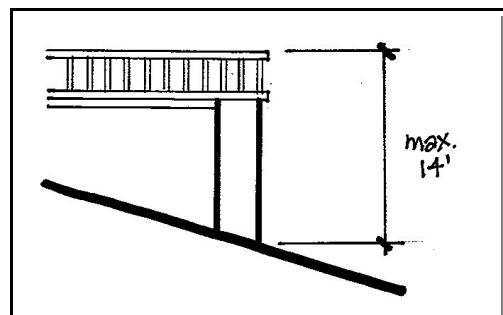


Figure 9-33

Sedona - Land Development Code

1. Where the base of the column is screened by native or adaptive vegetation or trees over 2" DBH with a minimum height of 3 feet and located close enough to the base of the column or pier to reduce its apparent height, the maximum height shall be 16 feet measured from natural grade to the top of the railing; (See Figure 9-34)

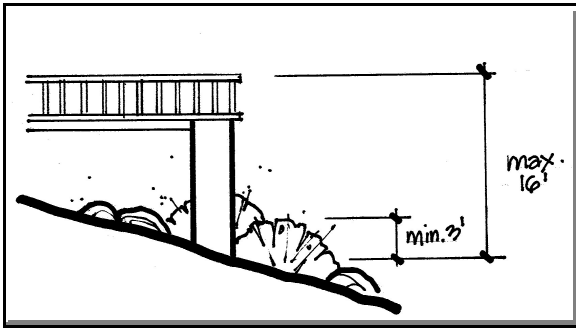


Figure 9-34

2. Where columns or piers supporting decks are setback a minimum of 2 feet from the edge of the railing, the maximum height shall be 15 feet measured from natural grade to the floor of the deck. (See Figure 9-35)

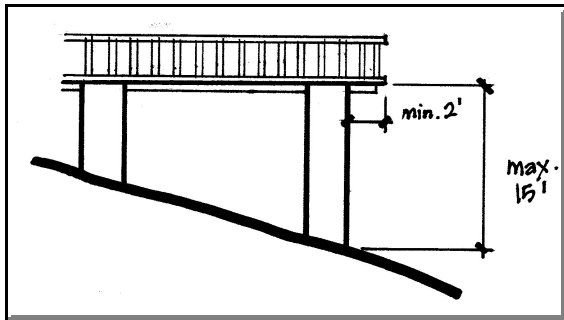


Figure 9-35

903.07 Walls and Fences.

A. Height shall be determined for fences and walls above the average elevation of the ground level within a 6-foot radius of the point of measurement on the fence or wall.

B. Except as provided in paragraphs C. and D. below, in any required front or street side yard area, an opaque or solid wall or fence shall not exceed 3 feet in height. Non-opaque corral fences may be established in any required front or street side yard area to a maximum height of 6 feet where permitted in RS-5A, RS-70, RS-36 and RS-35 zoning districts.

C. A wall or fence not more than 6 feet in height may be established in any required front or street side yard area in the RS-6, RS-10a, RS-10b, RS-12, RMH-6, RMH-10 and RMH-12 zoning district subject to the following requirements:

1. If the wall exceeds 20 feet in length, a landscape area a minimum of 3 feet in width and planted with a minimum of 5-gallon shrubs for each 20 linear feet of wall shall be established on the street side of the wall.

2. If the wall exceeds 40 feet in length, architectural features such as columns, breaks to accommodate existing trees or to include wrought iron fence sections, incorporation of red rock accents and jogs, shall be designed into the wall to break up its linear plane, to give it architectural interest and to ensure that it is designed as an integral architectural element of the principal building.

3. No chain link fences of any kind shall be permitted.

4. The visibility triangle requirements of § 910.09 shall be maintained.

D. A wall or fence not more than 6 feet in height may be maintained along the interior side or rear lot lines, provided that this wall or fence does not extend into any required front yard. A 6-foot high chain link fence may be permitted within the front yard setback in the C-3 zoning district. Unpainted chain link fences are prohibited. Painted chain link fences shall be of a non-reflective color, compatible with the natural character of the site and surrounding area (such as brown, beige, green, and the like) and shall meet the exterior color requirements of § 904.1.

E. In addition to the requirements of subsections B. and D. above, half of the permitted wall or fence height may be added to a wall or fence, provided that this additional height is non-solid. For example, a 3-foot high lattice fence could be added onto a 6-foot high fence on the rear lot line of a single-family residence.

F. In single-family residential districts a wall or fence adjacent to a driveway providing vehicular access to an abutting lot shall not exceed 3 feet in height within 15 feet of the intersection of this driveway and the street right-of-way.

G. Walls or fences constructed to enclose any new subdivision and all developments except single-family residences on lots zoned for single-family residential use shall jog in plan every 50 feet minimum in length, by a minimum of 2 feet offset. A direction change of more than

Development Standards

30 degrees in plan also constitutes a jog. In the alternative and subject to the approval of the Director, a visual break through the use of for example, a change in materials (such as a wrought iron fence section) or a break in the wall to preserve existing trees or vegetation, may be approved.

H. The provisions of this section shall not apply to a wall or fence required by any law or regulation of the State of Arizona or any state or federal agency.

I. The maximum height and length requirements for retaining walls are provided in §§ 903.05A and 903.05B.

J. If a freestanding wall or fence is required or proposed on top of a retaining wall that is 6 feet or more in height, then the following shall apply:

1. A solid freestanding wall or fence shall be no more than 3 feet six inches in height. (See Figure 9-36)

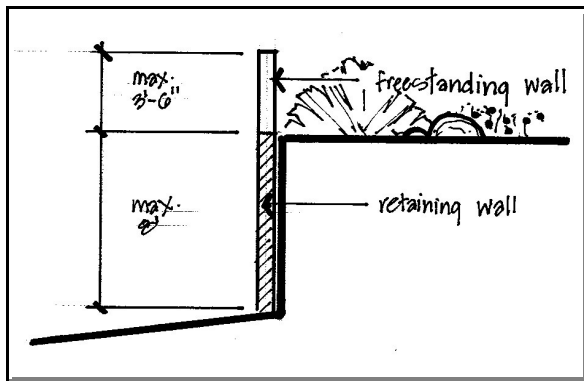


Figure 9-36

2. If greater height is required as permitted in § 903.07D., then the freestanding wall or fence shall be moved back from the top of the retaining wall a minimum of 3 feet to create a planter area between the walls. A minimum of 5-gallon shrubs for each 20 linear feet of planting area shall be planted. The Director may authorize the substitution of 1-gallon vines or cascading plants (such as rosemary) for shrubs at a 3:1 ratio, such as 3 vines or cascading plants for shrub. (See Figure 9-37)

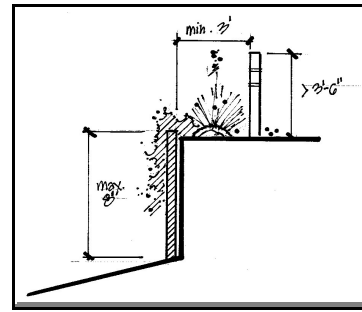


Figure 9-37

3. Notwithstanding the requirements of paragraph 2. above, the Director may waive or reduce the width of the planter area if the proposed fence is made of wrought iron or similar materials and landscaped in such a manner that its potential visual impact is reduced.

903.08 Towers and Antennas. The towers and antennas used by federally-licensed amateur radio operators shall be exempt from the district's height limitations for buildings. Any such tower or antenna must be located on the lot so that its reclining length (in case of collapse) would be contained within the bounds of the lot. If the operator no longer holds a valid federal amateur radio operator's license, the tower and antenna must be dismantled.

903.09 Roof-Mounted Screening. Roof-mounted screening of mechanical equipment is required and shall not extend above the height limit for buildings established by this section.

903.10 Flagpoles.

A. Any flagpole shall not exceed more than 22 feet in height measured from natural or finish grade to the top of the flagpole, excluding any normal ornamentations associated with flagpoles, such as eagles.

B. The number of flagpoles on a single lot shall be limited as follows:

1. In residential zoning districts, 1 flagpole is allowed;

2. In all commercial and CF zoning districts, 3 poles with 1 flag each or 1 pole with 3 flags are allowed.

(Am. Ord. 2006-02, passed 1-10-2006; Am. Ord. 2009-15, passed 10-13-2009)